

# Shoreland Management Ordinance – Amendment 20

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# Background and Purpose

- Hubbard County's Shoreland Management Ordinance originally adopted in July of 1971
- Public health, safety and general welfare
- Wise subdivision, use and development of shoreland areas of Hubbard County

# Section 111 – Definitions

- Defined uses – i.e. Dinner Club and Retail Shop
- Refined definitions – i.e. platforms

# Section 401 – Uses

- Short-term rental added to use table as a permitted use on all public water classifications
  - Performance standards identified in Section 402 must be met



# Section 402 – Special Provisions

- Short-term rentals (STR), new or existing, require an annual license to operate after May 1, 2022. Licenses must be renewed each year.
- Separate STR license required for each allowed STR unit on a lot
- Requirements
  - Property tax payments not delinquent
  - STR regulations only apply when property is actively used as a STR
  - Contact info for party responsible for responding to questions be kept with Co.
  - Overnight guest occupancy determined septic system design flow
  - Current certificate of compliance for septic system serving STR
  - Color photos of STR
  - Aerial image showing STR on property

## Section 402 – Special Provisions - Cont.

- Documentation to kept and produced upon request of owner/operator
  - Passing water test from well serving STR for nitrate and coliform – within 1 year of current date
  - MDH license or written certification stating MDH license not required
- Sufficient vehicle parking options – i.e. onsite or legal public parking locations
- Quiet hours – 10:00 p.m. to 7:00 a.m.
- Storage, collection, and disposal of solid waste must comply Solid Waste Ordinance
- Licensed overnight guest occupancy to be included on web-based advertisements

# Section 402 – Special Provisions - Cont.

- Information posted in STR unit visible to guests
  - Map of property boundaries
  - Full name and phone number of owner/operator
  - Full name and phone number of local contact person or management agent
  - Local emergency contact information – i.e. law enforcement, fire, ambulance
  - Maximum number of overnight guests allowed by STR license
  - Copy of Hubbard County's Good Neighbor Brochure
- STR licenses cannot be transferred
- Violations of STR criteria may result in suspension or revocation of STR license

# Section 501.7 – Reduced Lot Widths

- Allowing for the reasonable flexibility in design of lots
  - Rear of riparian lot or front of non-riparian lot widths may be reduced by one-half the required minimum lot width
    - Total number of lots does not exceed total linear road feet serving subdivision divided by minimum lot width
    - Each lot must contain required minimum buildable area exclusive of any portion of the lot not meeting minimum width requirements



# Section 506 – Guest Cottages

- Guest cottage allowed to be co-located within an accessory structure put to another permitted use.
  - Guest cottage area may not exceed 700 square feet
  - Accessory structure containing guest cottage may not exceed 25 feet in height

## 507.4 - Fences

- Fences in the area between the ordinary high water mark and the structure setback can be no more than four feet in height above pre-existing or natural grade

# Section 601 – Accessory Uses and Structures

- Allowance for one Water-oriented accessory structure per residential lot closer to public waters than the structure setback – i.e. accessory structure, deck or platform
- Structures must not exceed ten feet above grade at any point and cannot occupy an area greater than 48 square feet
- Decks cannot exceed eight feet in height above grade at any point
- Decks and platforms cannot occupy an area greater than 150 square feet
- Water-oriented accessory structures, decks, or platforms cannot be located in a bluff impact zone

# Section 601 – Accessory Uses and Structures – Cont.

- A water-oriented structure's roof may not be used as a deck or storage area
- Mitigation to offset the aesthetics and impervious surface area impact of the allowed water-oriented accessory structure, deck, or platform
  - 500 square feet of the property's shore impact zone must be restored to and maintained in permanent native tree, shrub and ground cover vegetation.
  - Property's with a fully vegetated shore impact zones, a 500 square foot portion thereof must be designated and preserved in natural vegetative cover.
  - Designated preservation/mitigation area must have 20' minimum width parallel to the shoreline

# Questions?

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